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That the document is admitted for
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endorsement sheets attached with the
document are the part of this document.

AW 184024

District Sub-Register-III
Alipore, South 24-Parganas
16 DEC 2025

DEED OF CONVEYANCE

(With physical and legal possession on and from today)

Bastu Land measuring about 3K.-9Ch.-25sq.ft. with tiles finished three storied residential building measuring about 2850 sq.ft. covered area at Premises No. 47C/1, Manick Bandopadhyay Sarani, P.S.-Regent Park, P.O.-Regent Park, Kolkata-700040, Assessee No. 21-097-08-0447-0, KMC Ward No. 97, Borough-X, Property is on 33ft. wide KMC Road.

Set-forth value Rs.2,40,00,000/-

This **Deed of Conveyance** is made on this day, month and year written at last hereinafter.

By and Between

Anur Senapati

3548

04 NOV 2025



No..... **Rs. 100/-** Date.....

Name : *Adv. Sraboni Ghosh*

Address : **ALIPORE JUDGE COURT** Advocate
Kolkata - 700 027

Vendor :
Alipore Collectorate, 24 Pgs. (South)

SUBHANKAR DAS

STAMP VENDOR
Alipore Police Court, Kol-27

[Handwritten signature]



**Full signature with complete
information of Identifier**

Full signature : *Sraboni Ghosh*

Miss Sraboni Ghosh
Advocate

Enrollment No : F/1396/1073 of 2019
Alipore Judges' Court, Kolkata-700027
Office : 9/29 Netaji Nagar, Kolkata-700092
Aadhar : 6024 7113 3236
Mobile : 8697502211





Govt. of West Bengal
Directorate of Registration & Stamp
Revenue
GRIPS eChallan



192025260391291598

GRN Details

GRN: 192025260391291598 Payment Mode: SBI Epay
GRN Date: 16/12/2025 12:56:47 Bank/Gateway: SBIEpay Payment Gateway
BRN : 9902147191346 BRN Date: 16/12/2025 12:57:17
Gateway Ref ID: 127678891 Method: Axis Bank-Retail NB
GRIPS Payment ID: 161220252039129158 Payment Init. Date: 16/12/2025 12:56:47
Payment Status: Successful Payment Ref. No: 2003293944/2/2025

[Query No*/Query Year]

Depositor Details

Depositor's Name: Mr Ganapati Construction
Address: 5/32/3 Azadgarh Kol 40
Mobile: 9830460470
Period From (dd/mm/yyyy): 16/12/2025
Period To (dd/mm/yyyy): 16/12/2025
Payment Ref ID: 2003293944/2/2025
Dept Ref ID/DRN: 2003293944/2/2025

Payment Details

Sl. No.	Payment Ref No	Head of A/C Description	Head of A/C	Amount (₹)
1	2003293944/2/2025	Property Registration- Stamp duty	0030-02-103-003-02	1679920
2	2003293944/2/2025	Property Registration- Registration Fees	0030-03-104-001-16	240400
3	2003293944/2/2025	Receipts on account of Standard User Charge-Other fees	0030-02-102-008-16	300

Total 1920620

IN WORDS: NINETEEN LAKH TWENTY THOUSAND SIX HUNDRED TWENTY ONLY.

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By and Between

MR. SUBHENDU PRAKAS MAITY @ Mr. Subhendu Prakas Maity, son of Pasupati Maity, having **PAN** : AIHPM 5226 F, **Aadhaar** : 4359 0104 7868, **DOB** : 13-03-1941 and **Mobile** : 9831750441, by faith - Hindu, by nationality - Indian, by occupation - Retired, as per Aadhaar residing at Postal Address No. 47/C/1, Moore Avenue, P.S.-Regent Park, P.O.-Regent Park, Kolkata-700040 AND **MRS. MONORAMA MAITY** @ Mrs. Manorama Maity, wife of Subhendu Prakas Maity, having her **PAN** : AIAPM 0954 B, **Aadhaar** : 2706 4778 9821, **DOB** : 15-06-1948 and **Mobile** : 7034751264, by faith - Hindu, by nationality - Indian, by occupation - Retired, as per Aadhaar residing at Postal Address No. 47/C/1, Moore Avenue, P.S.-Regent Park, P.O.-Regent Park, Kolkata-700040, hereinafter jointly called and referred to as 'the **OWNERS / VENDORS**' (which term or expression shall unless excluded by or repugnant to the context be deemed to include their heirs, executors, administrators, representatives and / or assigns) **admitted and executed** by self individually and hereinafter referred to as the party of the **FIRST PART**.

AND

M/S. GANAPATI CONSTRUCTION, a proprietorship firm, having its office at 1/37, Azadgarh, P.S.-Golf Green, formerly Jadavpur, P.O.-Regent Park, Kolkata-700040, represent by its proprietor **SRI AMIT SENAPATI**, son of Sri Dukho Haran Senapati, having his **PAN** : BTZPS 2046 B, **Aadhaar** : 2173 2103 2005, **DOB** : 09-02-1982 and **Mobile** : 9830460470,

Amit Senapati

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by faith-Hindu, by nationality - Indian, by occupation - Business, residing at 1/37, Azadgarh, P.S.-Golf Green, formerly Jadavpur, P.O.-Regent Park, Kolkata-700040, hereinafter referred to as the **PURCHASER** (which term or expression shall unless excluded by or repugnant to the context be deemed to include his heirs, executors, administrators, representatives and / or assigns) **admitted and executed** by self **and** hereinafter called to as the party of the **SECOND PART**.

★ ★ ★ ★

That by virtue of Bengali Deed of Sale being No. 8190 for the year 1980 of District Sub-Registrar, Alipore, Owners / Vendors of First Part herein Mr. Subhendu Prakas Maity @ Mr. Subhendu Prakas Maiti and Mrs. Monorama Maity @ Mrs. Manorama Maity, became the joint owners of **all that** bastu land measuring about 3K.-9Ch.-25sq.ft. with tiles finished three storied residential building measuring about 2850 sq.ft. covered area at Premises No. 47C/1, Manick Bandopadhyay Sarani, its Postal Address 47/C/1, Manick Bandopadhyay Sarani, P.S.-Regent Park, P.O.-Regent Park, Kolkata-700040, KMC Ward No. 97, Assessee No. 21-097-08-0447-0, Borough - X, hereinafter mentioned to as 'the **said property**' which mentioned in the **Schedule-'B'** hereunder.

★ ★ ★ ★

TITLE HISTORY OF THE SCHEDULED LAND AND PREMISES :

WHEREAS the bastu land measuring about 89 satak at Khatian No. 177, under Dag No. 417 & 418, P.S.-Sabek Tollygunge, District - 24 Pgs.

Amr Sengupta

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J.L. No. 42, R.S. No. 37, Pargana - Khaspur, Touzi No.151, Mouza - Shibpur was recorded under the 'Sebait Ram Gopal Das Naskar' on behalf of 'Jamindar' of Mouza - Shibpur. **Thereafter** one **Sukur Mondal**, as occupier / tenure, became the occupier of **all that** bastu land measuring about 89 satak at Khatian No. 177, under Dag No. 417 & 418, P.S.-Sabek Tollygunge, District - 24 Pgs. J.L. No. 42, R.S. No. 37, Pargana - Khaspur, Touzi No.151, Mouza - Shibpur. **After death** of aforesaid Sukur Mondal, legal heirs of aforesaid Sukur Mondal became the recorded owners of aforesaid property.

AND WHEREAS thereafter one **Sri Rishikesh Mitra** purchased the above mentioned entire property by virtue of separate six Bengali Sale Deeds **as follows :-**

- (1) Registered by Meher Mondal and Lalbabu Mondal by virtue of registered Bengali Deed of Kobala on 06-04-1940 at District Registrar of Alipore for undivided 3 ana 4 ganda
- (2) Registered by Wahaj Safui by virtue of registered Bengali Deed of Kobala on 11-06-1940 at District Registrar of Alipore for undivided 8 ganda
- (3) Registered by Banita by virtue of registered Bengali Deed of Kobala on 15-08-1940 at District Registrar of Alipore for undivided 2 ana 8 ganda
- (4) Registered by Lekjan Bibi and Surtan Bibi jointly by virtue of registered Bengali Deed of Kobala on 16-08-1940 at District Registrar of Alipore for undivided 5 ana 6 ganda

Smt. Senere.

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(5) Registered by Hamidanesa Bibi by virtue of registered Bengali Deed of Kobala on 04-09-1940 at District Registrar of Alipore for undivided 2 ana 13 ganda.

(6) Registered by Ajiz Safui by virtue of registered Bengali Deed of Kobala on 26-03-1943 at District Registrar of Alipore for undivided 1 ana $6\frac{2}{3}$ ganda.

AND WHEREAS after purchasing the aforesaid entire property of deceased Sukur Mondal, to overcome the future complication – one Anath Bandhu Roy registered on 20-06-1946 at District Registrar of Alipore, one Bengali Nadabi Deed in favour of aforesaid Sri Rishikesh Mitra.

AND WHEREAS by virtue of aforesaid six Bengali Deed of Conveyance and one Bengali Deed of Nadabi, **Sri Rishikesh Mitra** became the absolute owner of **all that** bastu land measuring about 89 satak at Khatian No. 177, under Dag No. 417 for 84 satak land and 418 for 5 satak land under P.S.-Sabek Tollygunge, District - 24 Pgs. J.L. No. 42, R.S. No. 37, Pargana - Khaspur, Collectorate Touzi No.151, Mouza - Shibpur **and** thereafter recorded his name in the Record Book of respective B.L. & L.R.O. and paid tax regularly.

AND WHEREAS during enjoying the aforesaid property, said owner **Sri Rishikesh Mitra**, sold entire property by registering Bengali Deed of Conveyance in favour of **M/s. Ramanath Estate Private Limited**. The said Deed was registered on 09-03-1950, at joint Sub-Registrar of

Amir Sanyal

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Alipore and has been recorded in its Book No. I, Volume No. 28, Page from 127 to 134, being No. 975 for the year 1950. **Thus** by virtue of above mentioned Deed of Conveyance, **M/s. Ramanath Estate Private Limited** became the absolute owner of **all that** bastu land measuring about 89 satak at Khatian No. 177, under Dag No. 417 for 84 satak land and 418 for 5 satak land under P.S.-Sabek Tollygunge, District - 24 Pgs. J.L. No. 42, R.S. No. 37, Pargana - Khaspur, Collectorate Touzi No.151, Mouza - Shibpur.

AND WHEREAS after becoming the absolute owner, aforesaid **M/s. Ramanath Estate Private Limited** recorded his name in the Record Book of respective B.L. & L.R.O. and paid tax regularly **and** also mutated the aforesaid property in the Assessment Records of the than Calcutta Municipal Corporation, Ward No. 97 and recorded as Premises No. 47C, Moore Avenue, P.S.-Jadavpur and paid CMC property tax regularly for the aforesaid property.

AND WHEREAS after that the aforesaid **M/s. Ramanath Estate Private Limited** made one scheme of different plots of land with road of 32'-10" in respect of above mentioned entire property to sell in favour of different buyers. After completion of aforesaid 'Scheme', aforesaid **M/s. Ramanath Estate Private Limited** offered to sell the above mentioned number of plots under Dag Nos. 417 and 418.

Amr Sengupta

AND WHEREAS in the year 1969, **Smt. Santana Roy**, wife of Late Subhrendu Sekhar Roy and **Smt. Archana Basu**, wife of Sri Ajoy Basu jointly purchased bastu land measuring about **5K.** by virtue of registered Deed of Conveyance on 01-08-1969 from one **Atindra Kumar Mitra** of 47/1/A, Hazra Road, which was recorded in Book No. I, Volume No.95, Page from 188 to 193, being No. 3341 for the year 1969 of District Sadar Registrar of Alipore. **Thus** by virtue of aforesaid Deed of Conveyance being No. 3341 for the year 1969, aforesaid **Smt. Santana Roy** and **Smt. Archana Basu** jointly became the absolute owner of **all that** bastu land measuring about **5K.** at Khatian No. 155, under Dag No. 419, P.S.-Jadavpur, District - 24 Pgs. J.L. No. 42, R.S. No. 37, Pargana - Khaspur, Collectorate Touzi No.151, Mouza - Shibpur.

AND WHEREAS thereafter aforesaid **Smt. Santana Roy** and **Smt. Archana Basu** further purchased **2K.-3Ch.-5sq.ft.** bastu land on 01-08-1969, from aforesaid **M/s. Ramanath Estate Private Limited** which was recorded in Book No. I, Volume No.96, Page from 180 to 185, being No. 3342 for the year 1969 of District Sadar Registrar of Alipore. **Thus** by virtue of aforesaid Deed of Conveyance being No. 3342 for the year 1969, aforesaid **Smt. Santana Roy** and **Smt. Archana Basu** jointly became the owners of **all that** bastu land measuring little more or less **2K.-3Ch.-5sq.ft.** at Khatian No. 177, under Dag No. 417 & 418, P.S.-Jadavpur, District - 24 Pgs. J.L. No. 42, R.S. No. 37, Pargana - Khaspur, Collectorate Touzi No.151, Mouza - Shibpur.

AND WHEREAS after purchasing the landed property by virtue of aforesaid Deed of Conveyance being No. 3341 for the year 1969 of

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bastu land measuring about 5K. from Khatian No. 155, under Dag No. 419, aforesaid purchasers **Smt. Santana Roy** and **Smt. Archana Basu** accordingly **exchanged** their above mentioned property with the property owner of **M/s. Ramanath Estate Private Limited** by registering one **Deed of Exchange** on 01-08-1969 and has been recorded in the Book No. I, Volume No.105, Page from 179 to 186, being No. 3346 for the year 1969 of District Sadar Registrar of Alipore. **Thus** by virtue of aforesaid Deed of Exchange being No. 3346 for the year 1969, aforesaid **Smt. Santana Roy** and **Smt. Archana Basu** jointly became the absolute owners of **all that** bastu land measuring about **5K.** at Khatian No. 177, under Dag No. 417 & 418, P.S.-Jadavpur, District - 24 Pgs. J.L. No. 42, R.S. No. 37, Pargana - Khaspur, Collectorate Touzi No.151, Mouza - Shibpur.

AND WHEREAS thus by virtue of above mentioned Deed of Conveyance being No. 3342 for the year 1969 and Deed of Exchange being No. 3346 for the year 1969, aforesaid **Smt. Santana Roy** and **Smt. Archana Basu** jointly became the absolute owners of **all that** bastu land measuring about **7K.-3Ch.-5sq.ft.** at Khatian No. 177, under Dag No. 417 & 418, P.S.-Jadavpur, District - 24 Pgs. J.L. No. 42, R.S. No. 37, Pargana - Khaspur, Collectorate Touzi No.151, Mouza - Shibpur, part of Premises No. 47C, Moore Avenue, P.S.- Jadavpur **and** after made mutation in favour of them for the aforesaid property in the Assessment Records of the Calcutta Municipal Corporation, the aforesaid property has been recorded as KMC Premises No. 47C/1, Manick Bandopadhyay

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Sarani, its Postal Address 47/C/1, Manick Bandopadhyay Sarani **and** thereafter two separate two storied residential building constructed by virtue of Sanctioned Building Plan No.134, dated 30-07-1974, hereinafter mentioned to as 'the **said land and premises**' which is morefully and particularly descrbed in the **Schedule** hereunder written and the Owners/Vendors of First Part herein have been seized and possessed of and/or otherwise so well and sufficiently to the said scheduled property and exclusive possession thereof and free from all encumbrances whatsoever nature.

AND WHEREAS during enjoying the aforesaid land and premises of schedule hereunder, above mentioned owners **Smt. Santana Roy** and **Smt. Archana Basu**, sold, conveyed and transferred 50% of aforesaid land and premises from eastern portion of which measuring little more or less 3K.-9Ch.-25sq.ft. bastu land with two storied residential building by way of two separate Deed of Conveyance in favour of one **Smt. Bani Bhattacharya** and the aforesaid property of Smt. Bani Bhattacharya has been recorded as 47C/1A, Manick Bandopadhyay Sarani.

AND WHEREAS after that, above mentioned owners **Smt. Santana Roy** and **Smt. Archana Basu**, rest 50% of aforesaid land and premises from western portion measuring about 3K.-9Ch.-25sq.ft. with two storied

Smt. Roy

residential building sold, conveyed and transferred **by way of two separate Deed of Conveyance** in favour of one **Smt. Uma Mukhoty**, wife of Sri Dhrubanath Mukhoty **as follows :-**

(1) One of aforesaid owners, **Smt. Archana Basu** sold, conveyed and transferred 50% of aforesaid joint property 3K.-9Ch.-25sq.ft. with two storied residential building by virtue of registered Bengali Deed of Conveyance on 18-12-1974 at Sadar Sub-Registrar of Alipore and has been recorded in its Book No. I, Volume No. 170, Page from 231 to 252, being No. 6425 for the year 1974. **On the same day**, one Bengali Deed of Mortgage was also registered by aforesaid Smt. Uma Mukhoty and his husband Sri Dhrubanath Mukhoty as Mortgagor in favour of Smt. Archana Basu as Mortgagee which was registered on 18-12-1974, at Sadar Sub-Registrar of Alipore and has been recorded in its Book No. I, Volume No. 146, Page from 281 to 288, being No. 6428 for the year 1974. **Thereafter** one Deed of Release was also registered by aforesaid Smt. Archana Basu as 'Releasor' in favour of Smt. Uma Mukhoty and his husband Sri Dhrubanath Mukhoty as 'Releasee' which was registered on 02-05-1979 at Sadar Sub-Registrar of Alipore and has been recorded in its Book No. I, Volume No. 55, Page from 123 to 128, being No. 1788 for the year 1979.

(2) One of aforesaid owners, **Smt. Santana Roy** sold, conveyed and transferred 50% of aforesaid joint property 3K.-9Ch.-25sq.ft. with

Amit Senapati

two storied residential building by virtue of registered Bengali Deed of Conveyance on 18-12-1974 at Sadar Sub-Registrar of Alipore and has been recorded in its Book No. I, Volume No. 170, Page from 258 to 279, being No. 6430 for the year 1974. **On the same day**, one Bengali Deed of Mortgage was also registered by aforesaid Smt. Uma Mukhoty and his husband Sri Dhrubanath Mukhoty as Mortgagor in favour of Smt. Santana Roy as Mortgagee which was registered on 18-12-1974 at Sadar Sub-Registrar of Alipore and has been recorded in its Book No. I, Volume No. 170, Page from 280 to 287, being No. 6431 for the year 1974. **Thereafter** one Deed of Release was also registered by aforesaid Smt. Santana Roy as 'Releasor' in favour of Smt. Uma Mukhoty and his husband Sri Dhrubanath Mukhoty as 'Releasee' which was registered on 02-05-1979 at Sadar Sub-Registrar of Alipore and has been recorded in its Book No. I, Volume No. 55, Page from 116 to 122, being No. 1787 for the year 1979.

AND WHEREAS considering the above mentioned two Mortgage Deed being No. 6428 for the year 1974 and 6431 for the year 1974 **and also** considering the above mentioned two Release Deed being No. 1788 for the year 1979 and 1787 for the year 1979, the name of **Sri Dhrubanath Mukhoty** is considered as co-owners of the above mentioned property of 3K.-9Ch.-25sq.ft. with two storied residential building. Considering the above four subsequent documents, the Kolkata Municipal Corporation mutated the above mentioned property

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in the Assessment Records in favour of **Smt. Uma Mukhoty** and **Sri Dhrubanath Mukhoty** and paid KMC property tax under the new Assessee No.21-097-08-0447-0.

AND WHEREAS thus by virtue of above mentioned two Deed of Conveyance being No. 6425 for the year 1974 and being No. 6430 for the year 1974 **and** by virtue of above mentioned two Mortgage Deed being No. 6428 for the year 1974 and 6431 for the year 1974 **and** by virtue of above mentioned two Release Deed being No. 1788 for the year 1979 and 1787 for the year 1979, **Smt. Uma Mukhoty** and **Sri Dhrubanath Mukhoty** became the joint owners of **all that** bastu land measuring about 3K.-9Ch.-25sq.ft. with tiles finished two storied residential building measuring about 1900 sq.ft. covered area @ 950sq.ft. in each floor constructed area at Premises No. 47C/1, Manick Bandopadhyay Sarani, its Postal Address 47/C/1, Manick Bandopadhyay Sarani, P.S.-Regent Park, former Jadavpur, P.O.-Regent Park, Kolkata-700040, being Assessee No. 21-097-08-0447-0, KMC Ward No. 97, Borough-X, hereinafter mentioned to as 'the **said property**'.

AND WHEREAS after becoming the absolute owners, aforesaid **Smt. Uma Mukhoty** and **Sri Dhrubanath Mukhoty** jointly sold, conveyed and transferred the aforesaid land and premises in favour of Owners / Vendors of First Part herein **Mr. Subhendu Prakas Maity** @ Mr. Subhendu Prakas Maiti and **Mrs. Monorama Maity** @ Mrs. Manorama

Amrta Senapati.

Maity, by executing the Bengali Deed of Conveyance which was registered on 06-10-1980, at the Registration Office of District Sub-Registrar, Alipore and has been recorded in its Book No. I, Volume No. 228, being No. 8190 for the year 1980. **Thus** by virtue of aforesaid Deed of Conveyance being No. 8190 for the year 1980, the Owners /Vendors of First Part herein **Mr. Subhendu Prakas Maity @ Mr. Subhendu Prakas Maiti and Mrs. Monorama Maity @ Mrs. Manorama Maity**, became the joint owners of **all that** bastu land measuring about 3K.-9Ch.-25sq.ft. with tiles finished two storied residential building measuring about 1900 sq.ft. covered area @950sq.ft. in each floor constructed area at Premises No. 47C/1, Manick Bandopadhyay Sarani, its Postal Address 47/C/1, Manick Bandopadhyay Sarani, P.S.-Regent Park, formerly Jadavpur, P.O.-Regent Park, Kolkata-700040, KMC Ward No. 97, Borough-X **and** made mutation in favour of them for the aforesaid property in the Assessment Records of Kolkata Municipal Corporation and paying KMC Property Tax under Assessee No. 21-097-08-0447-0, hereinafter mentioned to as 'the **said land and premises**' which is morefully and clearly mentioned in the **Schedule** hereunder written free from all encumbrances, charges, liens, mortgage and/or any ohter nature of attachments whatsoever and have no acquisition or requisition and no case or proceedings both in civil and criminal nature is/are pending at the respective Learned Court/s or elsewhere. After becoming the absolute owners, one additional floor was

Amrit Senapati

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constructed by Mr. Subhendu Prakas Maity @ Mr. Subhendu Prakas Maiti over the two storied house in the year 1989, measuring an area of about 950 sq.ft. covered / constructed area as per KMC Building Plan No. 229 (BLO), dt. 01-10-1988. Hence the total constructed area of the house become 2850 sq.ft. covered area and it became a three storied residential building.

OFFERS TO SALE AND AGREED TO PURCHASE :

WHEREAS now the Owners / Vendors of First Part **Mr. Subhendu Prakas Maity @ Mr. Subhendu Prakas Maiti and Mrs. Monorama Maity @ Mrs. Manorama Maity**, herein for various reasons decided to sale the said land and premises of scheduled hereunder at total price or consideration of **Rs.2,40,00,000/-** (Rupees two crore forty lakh) only **and** the Purchaser of Second Part herein **M/s. Ganapati Construction** has agreed to purchase the aforesaid property of scheduled hereunder written at the aforesaid total consideration amount of Rs.2,40,00,000/- (Rupees two crore forty lakh) only **and** both the parties herein have agreed to make agreement for sale for the said land and premises of scheduled hereunder at aforesaid total consideration amount of Rs.2,40,00,000/- (Rupees two crore forty lakh) only under terms, conditions and declarations made hereunder.

Amr Sengupta

AGREEMENT FOR SALE IS MADE

WHEREAS thereafter the verbal agreement for sale is settled on 18-09-2025 between the Parties herein and on the basis of verbal agreement, the Purchaser herein paid amount of Rs. 1,10,00,000/- (Rupees one crore ten lakh) only by NEFT in favour of the First Part of Owners / Vendors as an 'Booking Amount'. **Thereafter** the sale agreement is signed on 02-12-2025, between the parties herein and on the day of signing the sale agreement, the Purchaser herein paid amount of Rs. 1,00,00,000/- (Rupees one crore) only by RTGS in favour of the First Part of Owners / Vendors as an 'Booking Amount' as 1st payment **and** the Purchaser have agreed to make payment the balance consideration amount of Rs. 1,30,00,000/- (Rupees one crore thirty lakh) only as per payment clause of aforesaid agreement for sale dt. 02-12-2025 i.e. within the maximum period of December 2025.

DECLARATION MADE BY OWNERS / VENDORS OF FIRST PART BEFORE REGISTRATION THE DEED OF CONVEYANCE

WHEREAS at or before registering the deed of conveyance, the Owners/Vendors of First Part doth herein finally declare that save and except the aforesaid agreement for sale, they have not entered into any agreement for sale with any other person/s in respect of the said

Amr Senapati

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property of scheduled hereinbelow or any part thereof. **The right, title and interest** of the Owners/Vendors herein in the said land and premises of scheduled hereunder free from all sorts of encumbrances, charges, liens, lispendenses, demands, claims, hindrances, attachments, debts, dues, acquisitions and requisitions whatsoever. **The Owners/Vendors of First Part herein** have got good and absolute marketable title, right and interest in said land and premises of scheduled hereunder without any interference, disturbance and obstruction whatever from any person whomsoever. **The Owners/Vendors of First Part** herein are legally and sufficiently entitle to make registration the Deed of Conveyance in favour of Purchaser of Second Part herein for the said property of scheduled hereunder. **The Owners/Vendors of First Part** hereby declaring that this Deed of Conveyance is the only Transfer Deed of Indenture in respect of the aid property of scheduled hereunder **i.e.** prior to this Deed of Conveyance, no other Deed of Indenture is made and registered. **The Owners/Vendors of First Part** hereby undertake to indemnify and keep the Purchaser herein indemnify against any loss, damage, claim, action, demand and risk whatsoever that may arise in respect of the title of the Owners / Vendors herein relating to the said property of scheduled hereunder written prior to the date of registration.

Amr Senees.

**DECLARATION MADE BY PURCHASER OF SECOND PART
BEFORE REGISTRATION THE DEED OF CONVEYANCE**

WHEREAS at or before registering the Deed of Conveyance, the Purchaser of Second Part herein have verified and examined the above referred all registered deeds and documents **viz.** (i) Deed of Conveyance being No. 975 for the year 1950, (ii) Deed of Conveyance being No. 3341 for the year 1969, (iii) Deed of Conveyance being No. 3342 for the year 1969, (iv) Deed of Exchange being No. 3346 for the year 1969, (v) Sanctioned Building Plan No.134, dated 30-07-1974, (vi) Deed of Conveyance being No. 6425 for the year 1974, (vii) Deed of Mortgage being No. 6428 for the year 1974, (viii) Deed of Release being No. 1788 for the year 1979, (ix) Deed of Conveyance being No. 6430 for the year 1974, (x) Deed of Mortgage being No. 6431 for the year 1974, (xi) Deed of Release being No. 1787 for the year 1979, (xii) Deed of Conveyance being No. 8190 for the year 1980 and (xiii) Mutation Certificate in favour of Owners / Vendors of First Part herein. **The Purchaser of Second Part herein** fully satisfied about the rights of the Owners / Vendors herein to the said land and premises of scheduled hereunder written in respect of KMC Premises No. 47C/1, Manick Bandopadhyay Sarani, its Postal Address 47/C/1, Manick Bandopadhyay Sarani, P.S.-Regent Park, P.O.-Regent Park, Kolkata-700040, Assessee

Amto Senapati.

No. 21-097-08-0447-0, KMC Ward No. 97. **The Purchaser of Second Part** also inspected the present condition of three storied residential building and physical measurement of the entire land and have found the property to be unencumbered and non-litigated. **Relying on the aforesaid declaration** made by the party of the First Part herein, the Purchaser of Second Part herein have agreed to make registration the Deed of Conveyance in favour of him in respect of the said property of scheduled hereunder.

AGREED TO MAKE REGISTRATION THE DEED OF CONVEYANCE

WHEREAS now the above named Purchaser of Second Part herein paid the full and final consideration amount of Rs. 2,40,00,000/- to the Owners / Vendors of First Part herein **and** on request of the Purchaser of Second Part herein, the above named Owners/Vendors of First Part are executing this Deed of Conveyance in favour of Purchaser herein for the said property of scheduled hereunder written.

NOW THIS INDENTURE WITNESSETH that in pursuance of the said agreement for sale and in consideration of the said total consideration amount of Rs.2,40,00,000/- (Rupees two crore forty lakh) only, well and truly paid by the Purchaser herein to the Owners / Vendors of First Part on or before registering the Deed of Conveyance that being the full and final consideration amount, the receipt whereof the

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Owners / Vendors doth hereby admit and acknowledge the same as per memo of consideration mentioned hereunder written and of & from the payment of the same and every part thereof, the Owners / Vendors doth hereby acquit, release and forever discharge the Purchaser as well as the said property of scheduled hereby sold. The Owners / Vendors doth hereby grant, transfer, convey, sell, assign and assure unto the Purchaser herein in respect of **all that** bastu land measuring be the same little more or less 3K.-9Ch.-25sq.ft. with tiles finished three storied residential building measuring about 2850 sq.ft. covered area at Premises No. 47C/1, Manick Bandopadhyay Sarani, its Postal Address 47/C/1, Manick Bandopadhyay Sarani, P.S.-Regent Park, P.O.-Regent Park, Kolkata-700040, Assessee No. 21-097-08-0447-0, KMC Ward No. 97, Borough-X, hereinafter referred to as 'the **said land and premises**', which is morefully and particularly described in the **Schedule** hereunder written free from all sorts of encumbrances whatsoever nature unto and to the Purchaser herein absolutely and forever to hold, enjoy and possess and the Purchaser shall and may at all times hereafter peaceably and quietly possess and enjoy the said property and receive the rents, issues and profits thereof without any lawful eviction, interruption, claim or demand whatsoever from or by the Owners / Vendors or any person or persons lawfully or equitably claiming from under or in trust for themselves and that free and clear and clearly and absolutely discharged saved harmless and keep indemnified against all estate and encumbrances

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created by the Owners / Vendors or any person or persons lawfully or equitably claiming any estate or interest in the said property or any part thereof from under or in trust for the Owners / Vendors shall and will from time to time and at all times hereafter at the request and cost of the Purchaser do and execute or cause to be done and executed all such acts, deeds and things whatsoever for further and more perfectly assuring the said property and every part thereof unto and to the use of the Purchaser in manner aforesaid as shall or may be reasonably required **and** the Owners / Vendors do hereby covenant with Purchaser that it shall be lawful for the Purchaser from time to time and at all time hereafter to enter into and upon and to hold and enjoy the said property and all the easement right and that the Purchaser shall be entitled to sell, transfer, convey, develop, mortgage, leaseout, let out or deal with or dispose of the said property to any other party at a cost and amount, the Purchaser herein deem proper without any interruption, disturbances, claims or demands from or by the Owners / Vendors or any other persons or persons claiming through under or in trust for them.

FURTHER if any error or omission is found in this Deed of Conveyance in future, the Owners / Vendors herein will at the cost and request of the Purchaser do and execute or cause to be done and executed any Supplementary Deed or Deed of Rectification / Declaration in favour of the Purchaser **and** the Owners / Vendors doth hereby

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covenant with the Purchaser herein that notwithstanding any act thing, deed & matters whatsoever made done executed or knowingly suffered to the contrary the Owners/Vendors hath good right full power, absolute authority AND indefeasible title to grant, transfer, convey, sell the said property hereby sold or expressed or intended so to be unto and to the use of the said Purchaser in manner aforesaid and delivered vacant possession of the said land and hereditaments simultaneously with the execution of these presents.

FURTHER WITNESSETH that the Purchaser herein from this day become the absolute owner of **all that** bastu land measuring be the same little more or less 3K.-9Ch.-25sq.ft. with tiles finished three storied residential building measuring about 2850 sq.ft. covered area at Premises No. 47C/1, Manick Bandopadhyay Sarani, its Postal Address 47/C/1, Manick Bandopadhyay Sarani, P.S.-Regent Park, P.O.-Regent Park, Kolkata-700040, Assessee No. 21-097-08-0447-0, KMC Ward No. 97, Borough-X **i.e.** the entire property which is morefully and particularly described in the **scheduled** hereinbelow **and** that we, the Owners / Vendors herein cease to have any interest on the said property of scheduled hereinbelow from this day **and** we, the Owners / Vendors doth hereby deliver absolute legal and physical vacant possession of the said property of scheduled hereinbelow in favour of the Purchaser herein **and**

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the Purchaser herein have got every rights and liberties to make mutation in favavour of his name in respect of the said property which is morefully described in the scheduled hereinbelow in the records of the competent authority of Kolkata Municipal Corporation at his own cost, in that event this Deed of Conveyance to be treated as the full and final concent of the Owners / Vendors herein.

SCHEDULE ABOVE REFERRED TO
(the said land and premises)

ALL THAT peace or parcel of **bastu land** measuring little more or less **3K.-9Ch.-25sq.ft.** with **tiles finished** three storied **residential building** measuring about **2850 sq.ft. covered area** (on each floor 950 sq.ft. covered area) at **Premises No. 47C/1, Manick Bandopadhyay Sarani**, its Postal Address **47/C/1, Manick Bandopadhyay Sarani**, Kolkata-700040, **P.S.-Regent Park**, formerly Jadavpur, **P.O.-Regent Park**, KMC Ward No. 97, Assessee No. 21-097-08-0447-0, Borough-X **togethewith** all right, title, interest and right of easement attached thereto butted and bounded **in the manner following :-**

On the North - ~~47C/7~~, Manick Bandopadhyay Sarani

On the South - **32'-10"** Manick Bandopadhyay Sarani

On the East - 47/C/1A, Manick Bandopadhyay Sarani

On the West - ~~47C/6~~, Manick Bandopadhyay Sarani

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IN WITNESS we the Owners/Vendors and the Purchaser have hereto put our signatures on this the 15th day of December 2025.

Executed and delivered by
the Parties at Kolkata in the
presence of following witness :

**Full Signature of witness
with complete address :-**

1. Sraboni Ghosh.
Advocate
Alipore Judges Court
Kol-27

2. Rangan Das
1/144A202 Westm.
Kol-40

1. Subhendu Prakas Maity

2. Manorama Maity

**Signature of the Owners/Vendors
First Part herein**

Mr. Subhendu Prakas Maity
@ Mr. Subhendu Prakas Maity
Mrs. Monorama Maity
@ Mrs. Manorama Maity

Amit Senapati

**Signature of the Purchaser
Second Part herein**

M/s. Ganapati Construction
signed by its Proprietor
Sri Amit Senapati

As per available documents and
informations supplied by parties herein
Drafted by me at my office :

Sraboni Ghosh.

Miss. Sraboni Ghosh
Advocate
Enrollment No : F/1396/1073 of 2019
Alipore Judges' Court
Office : 9/29 Netaji Nagar, Kol-92
Mobile : 8697502211

Compared the drafting by me with the
relevant documents supplied by parties
herein and readover before the parties.

Punyabrat Roy Chowdhury

Mr. Punyabrat Roy Chowdhury
Senior Advocate
Enrollment No. WB/1422/1980
Alipore Judges' Court
Office : 8A, Pallisree, Kol-92,
Mobile : 98303 29585

MEMO OF CONSIDERATION

RECEIVED an amount of Rs. 2,40,00,000/- (Rupees Two Crores Forty Lakhs) only from the above named Purchaser of Second Part herein in presence of the following witnesses and as follows:-

MEMO

- | | |
|---|--------------------|
| 1. By Cheque No. NEFT dt. 18-09-2025 on AXIS BANK in favor of Subhendu Prakas Maiti as Booking amount before agreement | Rs.10,00,000.00 |
| 2. By RTGS on 02-12-2025 from Purchaser's Bank Account No. 918020056940037 of AXIS Bank, Pallisree Brnach to Owners/Vendors Bank account No. 50100750606142 of HDFC, Tollygunge Branch, Malancha Cinema Compund as 1 st payment after agreement for sale | Rs.48,00,000.00 |
| 3. By Bank Transfer on 02-12-2025 from Purchaser's Bank Account No. 59292198246470 of HDFC Regent Park Branch to Owners/Vendors Bank account No. 50100750609142 of HDFC, Tollygunge Branch, Malancha Cinema Compund as 1 st payment after agreement for sale | Rs.52,00,000.00 |
| 4. TDS as per Income tax Act @ 1% on above Rs.2,40,00,000, TDS attached herewith | Rs.2,40,000.00 |
| 5. By RTGS on 16-12-2025 from Purchaser's Bank Account of HDFC Bank, Regent Park Branch to Owners/Vendors Bank account | Rs.5,00,000.00 |
| 6. By RTGS on 16-12-2025 from Purchaser's Bank Account of Axis Bank, Pallisree Branch to Owners/Vendors Bank account | Rs. 1,22,60,000.00 |

Full signature of witnesses :-

1. *Ram Jan Das.*
2. *Srabou Ghosh.*

TOTAL : RS. 2,40,00,000.00

① *Subhendu Prakas Maiti*

② *Manorama Maiti*

**Signature of the Owners/Vendors
MR. SUBHENDU PRAKAS MAITI
Mrs. MANORAMA MAITY**

PLAN OF PEACE OR PARCEL OF BASTU LAND MEASURING LITTLE MORE OR LESS 3 K. 9
25 SQ.FT. WITH TILES FINISHED THREE STORIED RESIDENTIAL BUILDING MEASURING
ABOUT 2850 SQ.FT. COVERED AREA AT PREMISES NO. 47C/1, MANICK BANDOPADHYAY SARANI,
KOLKATA-700040, P.S.-REGENT PARK, FORMERLY JADAVPUR, P.O.-REGENT PARK, KMC WARD
NO. 97. BOROUGH-X ASSESSEE NO. 21-097-08-0447-0.

LAND MARK BY RED INK AND BUILDING MARKED BY GREEN INK



Subhendu Pranas Maiti
 Manojama Maiti

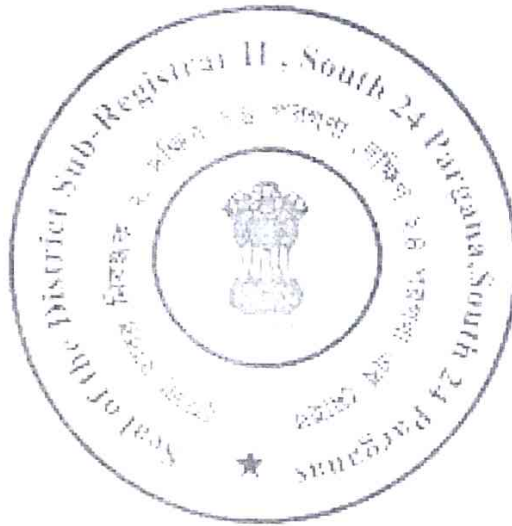
Amrit Senapati

SIG. OF VENDORS

SIG. OF PURCHASERS

TRACE BY
 SAHID SARDAR
 15/12/2025
 CIVIL D. MANSHIP & SURVEYOR
 ALIPORE POLICE COURT
 KOLKATA - 700027
 REG. NO. 1146/2023-2024

ate of Registration under section 60 and Rule 69.
stered in Book - I
ume number 1602-2025, Page from 883350 to 883383
eing No 160217813 for the year 2025.



Digitally signed by SUMAN BASU
Date: 2025.12.19 16.00.44 +05:30
Reason: Digital Signing of Deed.

(Suman Basu) 19/12/2025
DISTRICT SUB-REGISTRAR
OFFICE OF THE D.S.R. - II SOUTH 24-PARGANAS
West Bengal.

Major Information of the Deed

Deed No :	I-1602-17813/2025	Date of Registration	16/12/2025
Query No / Year	1602-2003293944/2025	Office where deed is registered	
Query Date	08/12/2025 11:43:12 AM	D.S.R. - I I SOUTH 24-PARGANAS, District: South 24-Parganas	
Applicant Name, Address & Other Details	SRABONI GHOSH ALIPORE JUDGES COURT, Thana : Alipore, District : South 24-Parganas, WEST BENGAL, PIN - 700027, Mobile No. : 8697502211, Status : Advocate		
Transaction	Additional Transaction		
[0101] Sale, Sale Document	[4308] Other than Immovable Property, Agreement [No of Agreement : 2]		
Set Forth value	Market Value		
Rs. 2,40,00,000/-	Rs. 2,40,00,000/-		
Stampduty Paid(SD)	Registration Fee Paid		
Rs. 16,80,020/- (Article:23)	Rs. 2,40,432/- (Article:A(1), E)		
Remarks	Received Rs. 50/- (FIFTY only) from the applicant for issuing the assement slip.(Urban area)		

Land Details :

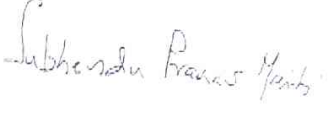
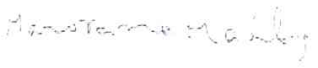
District: South 24-Parganas, P.S:- Regent Park, Corporation: KOLKATA MUNICIPAL CORPORATION, Road: Manik Bandopadhyay Sarani (Moore Avenue), , Premises No: 47C/1, , Ward No: 097 Pin Code : 700040

Sch No	Plot Number	Khatian Number	Land Use Proposed ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	(RS :-)		Bastu	3 Katha 9 Chatak 25 Sq Ft	2,00,00,000/-	2,00,00,000/-	Width of Approach Road: 33 Ft.,
Grand Total :				5.9354Dec	200,00,000 /-	200,00,000 /-	

Structure Details :

Sch No	Structure Details	Area of Structure	Setforth Value (In Rs.)	Market value (In Rs.)	Other Details
S1	On Land L1	2850 Sq Ft.	40,00,000/-	40,00,000/-	Structure Type: Structure, Status of Completion : Completed
Gr. Floor, Area of floor : 950 Sq Ft., Residential Use, Cemented Floor, Age of Structure: 0Year, Roof Type: Pucca, Extent of Completion: Complete Floor No: 1, Area of floor : 950 Sq Ft., Residential Use, Cemented Floor, Age of Structure: 0Year, Roof Type: Pucca, Extent of Completion: Complete Floor No: 2, Area of floor : 950 Sq Ft., Residential Use, Cemented Floor, Age of Structure: 0Year, Roof Type: Pucca, Extent of Completion: Complete					
Total :		2850 sq ft	40,00,000 /-	40,00,000 /-	

Seller Details :

SI No	Name,Address,Photo,Finger print and Signature			
1	Name Mr SUBHENDU PRAKAS MAITY, (Alias: Mr SUBHENDU PRAKAS MAITI) Son of PASUPATI MAITY Executed by: Self, Date of Execution: 15/12/2025 , Admitted by: Self, Date of Admission: 16/12/2025 ,Place : Office	Photo  16/12/2025	Finger Print  Captured LTI 16/12/2025	Signature  16/12/2025
47C/1 MOORE AVENUE, City:- , P.O:- REGENT PARK, P.S:-Regent Park, District:-South 24-Parganas, West Bengal, India, PIN:- 700040 Sex: Male, By Caste: Hindu, Occupation: Retired Person, Citizen of: IndiaDate of Birth:XX-XX-1XX1 , PAN No.: AIxxxxxx6F, Aadhaar No: 43xxxxxxxx7868, Status :Individual, Executed by: Self, Date of Execution: 15/12/2025 , Admitted by: Self, Date of Admission: 16/12/2025 ,Place : Office				
2	Name Mrs MONORAMA MAITY, (Alias: Mrs MANORAMA MAITY) Wife of Mr SUBHENDU PRAKAS MAITY Executed by: Self, Date of Execution: 15/12/2025 , Admitted by: Self, Date of Admission: 16/12/2025 ,Place : Office	Photo  16/12/2025	Finger Print  Captured LTI 16/12/2025	Signature  16/12/2025
47C/1 MOORE AVENUE, City:- , P.O:- REGENT PARK, P.S:-Regent Park, District:-South 24-Parganas, West Bengal, India, PIN:- 700040 Sex: Female, By Caste: Hindu, Occupation: Retired Person, Citizen of: IndiaDate of Birth:XX-XX-1XX8 , PAN No.: AIxxxxxx4B, Aadhaar No: 27xxxxxxxx9821, Status :Individual, Executed by: Self, Date of Execution: 15/12/2025 , Admitted by: Self, Date of Admission: 16/12/2025 ,Place : Office				

Buyer Details :

SI No	Name,Address,Photo,Finger print and Signature
1	GANAPATI CONSTRUCTION 1/37 AZADGARH, City:- , P.O:- REGENT PARK, P.S:-Jadavpur, District:-South 24-Parganas, West Bengal, India, PIN:- 700040 Date of Incorporation:XX-XX-2XX5 , PAN No.: BTxxxxxx6B,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative

Representative Details :

Sl No	Name,Address,Photo,Finger print and Signature								
1	<table border="1"> <thead> <tr> <th>Name</th><th>Photo</th><th>Finger Print</th><th>Signature</th></tr> </thead> <tbody> <tr> <td> Mr AMIT SENAPATI (Presentant) Son of Mr DUKHO HARAN SENAPATI Date of Execution - 15/12/2025, , Admitted by: Self, Date of Admission: 16/12/2025, Place of Admission of Execution: Office </td><td>  Dec 16 2025 5:35PM </td><td>  Captured LTI 16/12/2025 </td><td>  16/12/2025 </td></tr> </tbody> </table> 1/37 AZADGARH, City:- , P.O:- REGENT PARK, P.S:-Jadavpur, District:-South 24-Parganas, West Bengal, India, PIN:- 700040, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, Date of Birth:XX-XX-1XX2 , PAN No.: BTxxxxxx6B, Aadhaar No: 21xxxxxxxx2005 Status : Representative, Representative of : GANAPATI CONSTRUCTION (as SOLE PROPRIETOR)	Name	Photo	Finger Print	Signature	Mr AMIT SENAPATI (Presentant) Son of Mr DUKHO HARAN SENAPATI Date of Execution - 15/12/2025, , Admitted by: Self, Date of Admission: 16/12/2025, Place of Admission of Execution: Office	 Dec 16 2025 5:35PM	 Captured LTI 16/12/2025	 16/12/2025
Name	Photo	Finger Print	Signature						
Mr AMIT SENAPATI (Presentant) Son of Mr DUKHO HARAN SENAPATI Date of Execution - 15/12/2025, , Admitted by: Self, Date of Admission: 16/12/2025, Place of Admission of Execution: Office	 Dec 16 2025 5:35PM	 Captured LTI 16/12/2025	 16/12/2025						

Identifier Details :

Name	Photo	Finger Print	Signature
Miss SRABONI GHOSH Daughter of Mr BASUDEB GHOSH ALIPORE JUDGES COURT, City:- , P.O:- ALIPORE, P.S:-Alipore, District:-South 24 -Parganas, West Bengal, India, PIN:- 700027	 16/12/2025	 Captured 16/12/2025	 16/12/2025

Identifier Of Mr SUBHENDU PRAKAS MAITY, Mrs MONORAMA MAITY, Mr AMIT SENAPATI

Transfer of property for L1

Sl.No	From	To. with area (Name-Area)
1	Mr SUBHENDU PRAKAS MAITY	GANAPATI CONSTRUCTION-2.96771 Dec
2	Mrs MONORAMA MAITY	GANAPATI CONSTRUCTION-2.96771 Dec

Transfer of property for S1

Sl.No	From	To. with area (Name-Area)
1	Mr SUBHENDU PRAKAS MAITY	GANAPATI CONSTRUCTION-1425.00000000 Sq Ft
2	Mrs MONORAMA MAITY	GANAPATI CONSTRUCTION-1425.00000000 Sq Ft

Endorsement For Deed Number : I - 160217813 / 2025

On 16-12-2025

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 23 of Indian Stamp Act 1899.

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)

Presented for registration at 17:30 hrs on 16-12-2025, at the Office of the D.S.R. -I I SOUTH 24-PARGANAS by Mr AMIT SENAPATI ,.

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 2,40,00,000/-

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 16/12/2025 by 1. Mr SUBHENDU PRAKAS MAITY, Alias Mr SUBHENDU PRAKAS MAITI, Son of PASUPATI MAITY, 47C/1 MOORE AVENUE, P.O: REGENT PARK, Thana: Regent Park, , South 24-Parganas, WEST BENGAL, India, PIN - 700040, by caste Hindu, by Profession Retired Person, 2. Mrs MONORAMA MAITY, Alias Mrs MANORAMA MAITY, Wife of Mr SUBHENDU PRAKAS MAITY, 47C/1 MOORE AVENUE, P.O: REGENT PARK, Thana: Regent Park, , South 24-Parganas, WEST BENGAL, India, PIN - 700040, by caste Hindu, by Profession Retired Person

Indetified by Miss SRABONI GHOSH, , Daughter of Mr BASUDEB GHOSH, ALIPORE JUDGES COURT, P.O: ALIPORE, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Advocate

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 16-12-2025 by Mr AMIT SENAPATI, SOLE PROPRIETOR, GANAPATI CONSTRUCTION (Sole Proprietorship), 1/37 AZADGARH, City:- , P.O:- REGENT PARK, P.S:-Jadavpur, District:-South 24-Parganas, West Bengal, India, PIN:- 700040

Indetified by Miss SRABONI GHOSH, , Daughter of Mr BASUDEB GHOSH, ALIPORE JUDGES COURT, P.O: ALIPORE, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Advocate

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 2,40,432.00/- (A(1) = Rs 2,40,000.00/- ,E = Rs 400.00/- ,H = Rs 28.00/- ,M(b) = Rs 4.00/-) and Registration Fees paid by , by Cash Rs 32.00/-, by online = Rs 2,40,400/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 16/12/2025 12:57PM with Govt. Ref. No: 192025260391291598 on 16-12-2025, Amount Rs: 2,40,400/-, Bank: SBI EPay (SBlePay), Ref. No. 9902147191346 on 16-12-2025, Head of Account 0030-03-104-001-16

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 16,80,020/- and Stamp Duty paid by , by Stamp Rs 100.00/-, by online = Rs 16,79,920/-

Description of Stamp
1. Stamp: Type: Impressed, Serial no 184024, Amount: Rs.100.00/-, Date of Purchase: 04/11/2025, Vendor name:

Subhankar Das

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 16/12/2025 12:57PM with Govt. Ref. No: 192025260391291598 on 16-12-2025, Amount Rs: 16,79,920/-, Bank: SBI EPay (SBlePay), Ref. No. 9902147191346 on 16-12-2025, Head of Account 0030-02-103-003-02

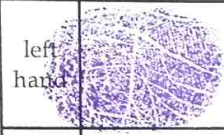
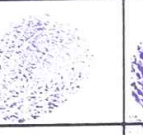
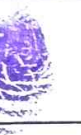
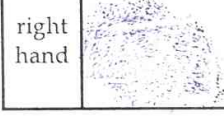
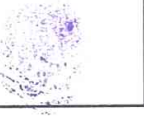
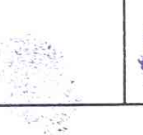
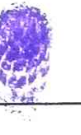

Suman Basu
DISTRICT SUB-REGISTRAR
OFFICE OF THE D.S.R. -I I SOUTH 24-
PARGANAS
South 24-Parganas, West Bengal

	Thumb	1 st finger	Middle finger	Ring finger	Small finger
left hand					
right hand					

PHOTO

Name

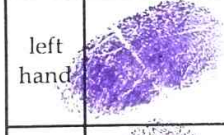
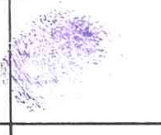
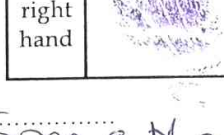
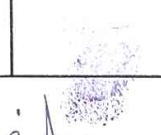
Signature

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left hand					
right hand					



Name.....

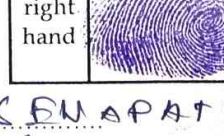
Signature Subhendu Prasad Maiti

	Thumb	1 st finger	Middle finger	Ring finger	Small finger
left hand					
right hand					



Name Manorama Maiti

Signature

	Thumb	1 st finger	Middle finger	Ring finger	Small finger
left hand					
right hand					



Name ANIL KUMAR

Signature Anil Kumar



District Sub Registrar-II
Alipore, South 24 Parganas
16 DEC 2025